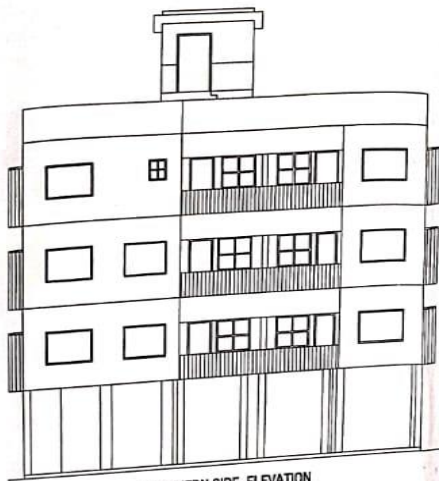
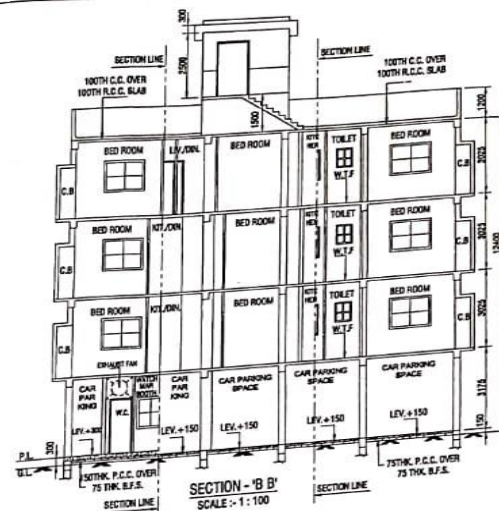
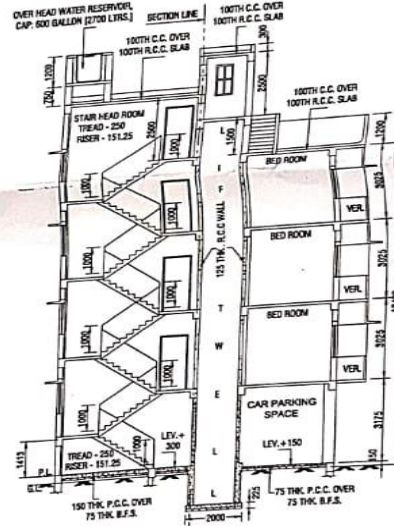




SOUTHERN SIDE ELEVATION
SCALE: 1:100



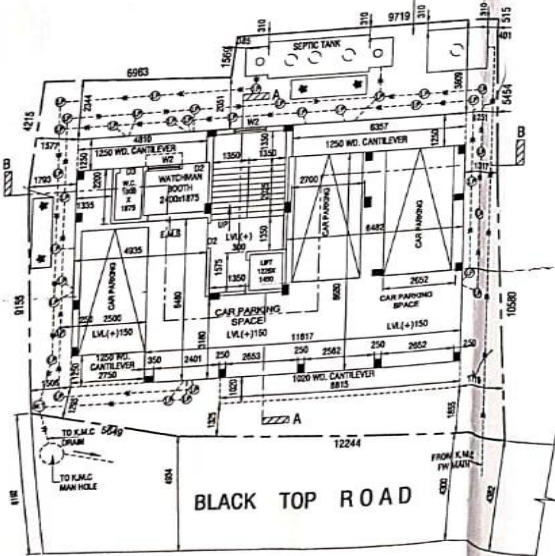
SECTION - B-B'
SCALE: 1:100



SECTION - A-A'
SCALE: 1:100



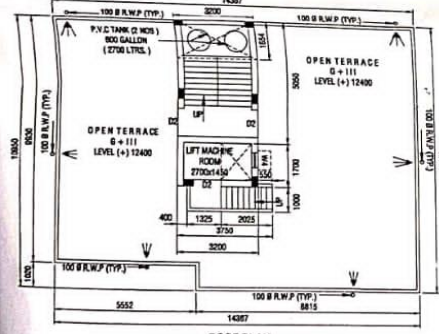
AVERAGE REAR OPEN SPACE
= 43.60/74.367 = 3.035 M.
AS PER AMENDMENT OF BUILDING RULES 2009 VIDE
NOTIFICATION NO.-
480/MAC/C-4/3R-13/2012 DT.- 21.10.2014



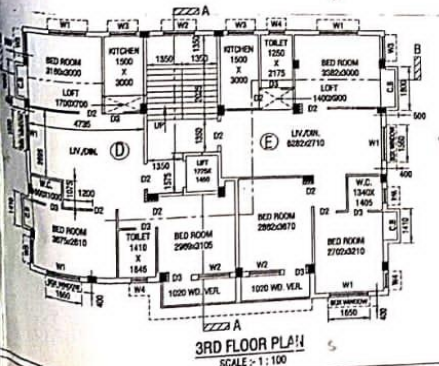
GROUND FLOOR PLAN
SCALE: 1:100



1ST & 2ND FLOOR PLAN
SCALE: 1:100



ROOF PLAN
SCALE: 1:100



3RD FLOOR PLAN
SCALE: 1:100

NOTES

1. ALL DIMENSION ARE IN MM UNLESS OTHERWISE MENTIONED.
2. FOLLOW WRITTEN DIMENSION ONLY.
3. FOR SPECIFICATION OF MATERIALS AND WORKMANSHIP FOLLOW N.B.C. 1984.
4. ALL EXTERNAL WALLS ARE IN 250TH/200TH AND ALL INTERNAL WALLS ARE 125TH/75TH.
5. GRADE OF R.C.C. CONCRETE M-20 & GRADE OF STEEL: Fe-415.
6. BEARING CAPACITY OF SOIL, AS PER SOIL TEST REPORT
7. BRICK WORK WITH CEMENT AND SAND MORTAR FOR 250TH/200TH WALL (1:4) & 125TH/75TH WALL (1:4).
8. PLASTER WORK CEILING (1:4) AND INSIDE OUTSIDE WALL (1:6).
9. THE DEPTH OF SEPTIC TANK AND SEMI UNDER GROUND WATER RESERVOIR WOULD NOT EXCEED THE DEPTH OF FOUNDATION OF BUILDING.
10. ALL SORTS OF PRECAUTIONARY MEASURE SHOULD BE TAKEN AT THE TIME OF SEPTIC TANK AND SEMI UNDER GROUND WATER RESERVOIR CONSTRUCTION.

DECLARATION OF OWNER / C.A

I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT I SHALL ENGAGE L. B. S. & E. S. E. DURING CONSTRUCTION. I SHALL FOLLOW THE INSTRUCTION OF L. B. S. & E. S. E. THE DURING CONSTRUCTION OF THE BUILDING (AS PER B. S. PLAN). K. M. C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURES. IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE, THE K. M. C. AUTHORITY WILL REVOKE THE GUIDANCE OF E. S. E. / L. B. S. BEFORE STARTING OF BUILDING FOUNDATION WORK. THE SITE HAS BEEN IDENTIFIED BY ME AT THE TIME OF INSPECTION AND THERE IS NO TENANT.

THERE IS NO COURT CASE PENDING AGAINST THIS MENTIONED PREMISES.

NAME OF OWNER/C.A
SRI RAJIB DEY DIRECTOR OF M/S SREE RAM NIRMAL PRIVATE LIMITED C/A OF
SMT. SANDHYA SAMADAR, SRI SUJAN SAMADAR
SMT. DIPANWITA SARKAR, SMT. ANAMKA SINHA
SMT. MALABKA ROSE, SMT. NILIMA SAMADAR
SRI. ANJAN SAMADAR, SRI. CHANDAN SAMADAR
SMT. KAJOLI BOSE

DECLARATION OF L. B. S.

CERTIFIED WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF K. M. C. BUILDING RULES 2009 AS AMENDED FROM TIME TO TIME & THAT THE SITE CONDITION INCLUDING THE ABUTTING PASSAGE AT NORTH & SOUTH SIDE CONFORMS WITH THE PLAN, WHICH HAS BEEN MEASURED AND VERIFIED BY ME. IT IS A BUILDABLE SITE AND NOT A TANK OR FILLED UP TANK. THE LAND IS DEMARCATED BY BOUNDARY WALL. THE CONSTRUCTION OF U. G. WATER TANK AND SEPTIC TANK WILL BE COMPLETED BEFORE STARTING OF BUILDING FOUNDATION WORK.

1. PLOT IS AN EXISTING BUILDING AND BOUNDED BY BOUNDARY WALL.
2. EXISTING BUILDING OCCUPIED BY OWNER AND THERE IS NO TENANT.
3. ROAD WIDTH FRONT OF THE PREMISES IS 4.300 M. VARIES TO 4.334 M. WIDE BLACK TOP ROAD

NAME OF L. B. S.
(SAMIR KUMAR DUTTA,
L. B. S. NO. - 13031)

4. SITE PLAN & KEY PLAN AS PER SITE.

MAIN CHARACTERISTICS OF THE PROPOSAL (PART 'A')			
1. ASSESSEE NO.: 21/0902/40530	2. NAME OF THE OWNER (RECORDED): SMT. SANDHYA SAMADAR, SRI SUJAN SAMADAR SMT. DIPANWITA SARKAR, SMT. ANAMKA SINHA SMT. MALABKA ROSE, SMT. NILIMA SAMADAR SRI. ANJAN SAMADAR, SRI. CHANDAN SAMADAR SMT. KAJOLI BOSE	4. DETAILS OF REGISTERED DEED: BOOK NO. 1 VOL. NO. XIV PAGES - 127 TO 140, BEING NO. 1205, FOR THE YEAR 1982, DT.- 02.05.1984, A.D.S.R. - SOUTH, 24 PGS. (N.B.)	6. DETAILS OF REGISTERED POWER OF ATTORNEY: BOOK NO. 1 VOL. NO. 1921/2021 PAGES - 160988 TO 161027, BEING NO. 16010396, FOR THE YEAR 2021, DT.- 20.12.2021, D.S.R. - 150/TH, 24 PGS. (N.B.)
3. NAME OF THE APPLICANT SRI RAJIB DEY DIRECTOR OF M/S SREE RAM NIRMAL PRIVATE LIMITED C/A OF SMT. SANDHYA SAMADAR, SRI SUJAN SAMADAR SMT. DIPANWITA SARKAR, SMT. ANAMKA SINHA SMT. MALABKA ROSE, SMT. NILIMA SAMADAR SRI. ANJAN SAMADAR, SRI. CHANDAN SAMADAR SMT. KAJOLI BOSE	5. DETAILS OF REGISTERED POWER OF ATTORNEY: BOOK NO. 1 VOL. NO. 1921/2021 PAGES - 81410 TO 81482, BEING NO. 160101467, FOR THE YEAR 2021, DT.- 04.06.2021, D.S.R. - 150/TH, 24 PGS. (N.B.)		

1. PLOT OF LAND AS PER TITLE DEED & ASSESSMENT RECORD:- 267.558 Sqm. (04 K - 00 CH - 00 Sqft.)										2. AREA OF THE PLOT OF LAND AS PER PHYSICAL :- 255.902 Sqm. (03 K - 15 CH - 28.00 Sqft.)															
3. PERMISSIBLE GROUND COVERAGE:- 57.75 % i.e. 154.5145sqm.										4. PROPOSED GROUND COVERAGE:- 151.656 Sqm. i.e. 56.88 %															
5. AREA STATEMENT :																									
FLOOR		GROSS COVER AREA (SQM)			STARWELL (SQM)			LIFT WELL (SQM)			NET COVER AREA (SQM)			STAR + STAR LOBBY (SQM)			NET FLOOR AREA (SQM)			CSP ROOM (SQM)			LIFT		
GFL FLOOR		125.248 Sqm.									125.248 Sqm.			12.757 Sqm.			2.126 Sqm.			116.280 Sqm.					
1ST FLOOR		151.656 Sqm.						1.776 Sqm.			149.88 Sqm.			12.757 Sqm.			2.126 Sqm.			134.997 Sqm.			3.100 Sqm.		
2ND FLOOR		151.656 Sqm.						1.776 Sqm.			149.88 Sqm.			12.757 Sqm.			2.126 Sqm.			134.997 Sqm.			3.100 Sqm.		
3RD FLOOR		151.656 Sqm.						1.776 Sqm.			149.88 Sqm.			12.757 Sqm.			2.126 Sqm.			134.997 Sqm.			3.100 Sqm.		
TOTAL		580.228 Sqm.						5.828 Sqm.			574.908 Sqm.			51.2028 Sqm.			6.504 Sqm.			518.378 Sqm.			9.300 Sqm.		
6. TENEMENTS CALCULATION																									
(A) RESIDENTIAL:																									
REMARKS		ACTUAL TENEMENT AREA (SQM)			NO. OF TENEMENT			STAR + STAR LOBBY AREA - CIP ROOM AREA - LIFT SHAFT AREA - LIFT MACHINE ROOM AREA - CIP CARPENTRY CALCULATION																	
A		81.185			01			12.777 SQM																	
B		49.880			02			6.500 SQM																	
C		32.311			02			6.500 SQM																	
D		27.230			02			6.500 SQM																	
E		81.884			01			6.500 SQM																	
7. PERMISSIBLE F.A.R. = 1.75																									
8. PROPOSED F.A.R. = 519.378/507 = 1.024																									
10. AREA OF STAR HEAD ROOM = 6.180 SQM																									
11. AREA OF STAR STAIR = 6.230 SQM																									
12. AREA OF LIFT MACHINE ROOM = 6.240 SQM																									
13. AREA OF LIFT MACHINE ROOM STAIR = 3.470 SQM																									
14. AREA OF TREE COVER = 6.000 SQM																									
15. TOTAL AREA FOR FEES = 21.620 SQM																									
16. TOTAL AREA FOR FEES + ADDITIONAL AREA FOR FEES = 21.620 SQM																									

SCHEDULE OF DOORS, WINDOWS & BOX WINDOW			
TYPE	SIZE	TYPE	BOX WINDOW
D1A	1200x2100	W1	1500x1200
D1	1100x2100	W2	1200x1200
D2	1000x2100	W3	1000x1200
D3	850x2100	W4	800x750
TOTAL AREA		2.568 SQM	

DECLARATION OF STRUCTURAL ENGINEER
THE STRUCTURAL DESIGN AND DRAWINGS OF BOTH FOUNDATION AND SUPER-STRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE N.B.C OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECTS.

THE STRUCTURAL DESIGN HAVE BEEN DONE CONSIDERING THE SOIL INVESTIGATION REPORT PREPARED BY M A S 4, GARDI MAIN ROAD, KOLKATA-75 AND SIGNED BY KALLU KUMAR GHOSHAL, B.E.(CIVIL), MIE K. M. C. EMPANELMENT NO. G.T./14

(SURIJAN DUTTA, E. S. E. NO. 22001)
NAME OF E. S. E.

DECLARATION OF GEO-TECHNICAL ENGINEER
UNDERTAKEN HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREIN. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED THEREIN IS SAFE AND STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

THE STRUCTURAL DESIGN HAVE BEEN DONE CONSIDERING THE SOIL INVESTIGATION REPORT PREPARED BY M A S 4, GARDI MAIN ROAD, KOLKATA-75 AND SIGNED BY KALLU KUMAR GHOSHAL, B.E.(CIVIL), MIE K. M. C. EMPANELMENT NO. G.T./14

(KALLU KUMAR GHOSHAL, B.E.(CIVIL), MIE
K. M. C. EMPANELMENT NO. G.T./14
NAME OF GEO-TECHNICAL ENGINEER

SHEET NO-1

PLAN OF PROPOSED GROUND+THREE STORED RESIDENTIAL BUILDING U/SEC. 393A OF K.M.C. ACT. 1980 AND K.M.C. B/R 2009, AT PREMISES NO.- 348/231 N.S.C BOSE ROAD HEIGHT OF THE BUILDING, 12.400M, IN WARD NO.- 100, BOROUGH NO.- X, KOLKATA - 700 047, P.S. - NETAJI NAGAR,

B.P. NUMBER - 2022/100018
DATE - 25-APR-2022

valid for 5 years from date of sanction.

DEBARATI CHAKRABORTY
DIGITAL SIGNATURE FOR A.E.(C)/Bldg/B-X

SHEET NO(1/2)